

## APPENDIX BD 4 REDINGTON FROGNAL DESIGN CODES FOR DEVELOPMENT SITES, INCLUDING NEW BUILDINGS, EXTENSIONS AND ALTERATIONS

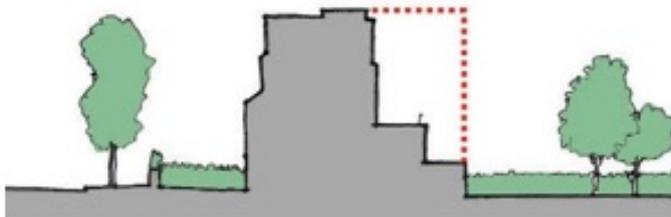
Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats	
Mandatory features	Mandatory details
Storeys and roofline	Heights are to be no more than 3 to 4 storeys and to follow the roofline of adjacent houses
Plot proportions	<p>A minimum gap of 4 metres shall be retained between buildings at the end of terraces or a minimum of 2 metres between semi-detached houses. This is to be applied universally throughout the Plan Area.</p> <p>New development and building extensions will be expected to provide a generous front garden and provide rear garden space in accordance with Policy BG1.</p> <p>Where it is proposed to replicate traditional form and detail in any new building, massing proportions and details proposed must be fully-worked through based on local historical precedent. Full construction details of the external envelope shall be included with planning submissions to ensure adherence to this principle.</p>
Solid to void ratio	This must be within 10% of the average of that on surrounding buildings.
Façade style	The proportions must match adjacent houses of the same building type.
Fenestration	<p>Windows must be spaced at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation. The mirroring of regular, geometric fenestration is seen in the images in Appendix HD 2.</p> <p>Locations of proposed windows must be spaced based on the architectural period displayed in that building.</p> <p>Dormers are acceptable if they are located to the rear of a building and do not rise to the ridge line nor reach to the main wall line, do not dominate or over-fill the surrounding roof area and are in a style sympathetic to existing dormers generally, including proportions of windows.</p>
Level of decoration	<p>Architectural detailing shall typically display elements that equate to those on existing traditional buildings, including variable roofline, string course, cornice at the eaves, and door surrounds or porches, and occasionally parapet wall at the eaves.</p> <p>A medium to high level of decoration or detail is expected on all new building elevations, based on existing original buildings within the adjacent area.</p> <p>All detailing must relate to human scale, with larger elements divided into smaller proportions. Dominant features such as large, plain panels of stone, brick or glass will not be acceptable.</p> <p>Extensions or alterations to existing terraced or semi-detached houses must demonstrate a respect for the existing level of detailing displayed in the original buildings in the area.</p>
Materials and detailing	<p>It is not suggested that new buildings should replicate traditional forms and details, but that equal detail and interest appropriate to the building type and style must be invested.</p> <p>Materials are to use a typical palette of plain red and yellow London stock bricks with lime only pointing, timber windows painted white and white corncicing, porch surrounds and string courses.</p> <p>New terraced or semi-detached houses shall demonstrate a respect for the existing materials palette used in the area, which is likely to vary subtly by street</p> <p>Materials proposed in new houses, extensions or alterations shall be agreed by the Neighbourhood Forum or Conservation Area Advisory Committee to ensure their quality and appropriateness.</p> <p>Materials for building extensions are to match those in the existing building.</p>
Desirable features	Desirable details
Porches and balconies	<p>Existing recessed porches that are part of the original architectural style, should not be enclosed, even if using clear glass.</p> <p>Balconies should not be added to existing terraced or semi-detached houses.</p>
Biodiversity support	Sensitive roof renovations and construction of new housing should incorporate spaces for internal bat roosts, including in the eaves for bird and bat roosting, and bat and bird bricks.

**Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats**

**Storeys and rooflines:** Any new terraced or semi-detached house shall respect the existing height and follow the roofline of adjacent houses.



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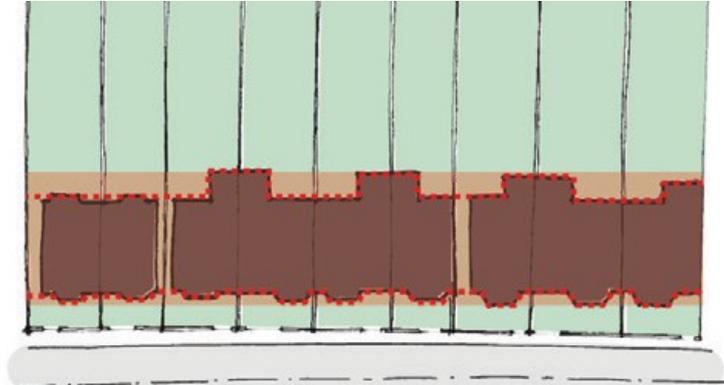


43.



**Appendix BD 4.1 Terraced and semi-detached and detached houses, including those divided into flats**

**Plot proportions:** A minimum gap of 4 metres shall be retained between buildings at the end of terraces or between semi-detached houses



**Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats**

**Façade styles:** Proportions must match adjacent houses of the same building type



**Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats**

**Fenestration:** windows at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation.



**Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats**

**Porches:** The enclosure of existing recessed porches, including proposals using glass, that are part of the architectural style is not acceptable. The photos below show recessed porches in different period architectural styles.



**Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats**

**Level of decoration:** A medium to high levels is expected, displaying elements that equate to those on existing traditional buildings which provide interest, scale and texture to form and elevations



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**Appendix BD 4.1 Terraced and semi-detached houses, including those divided into flats**

**Materials and detailing:** to match the existing building or, for new houses, to respect for the existing materials palette used in the area.



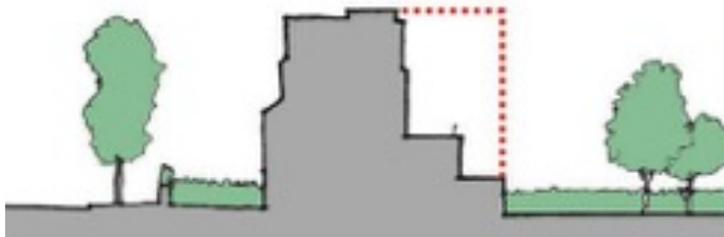
<b>Appendix BD 4.2 Detached houses, including those divided into flats</b>	
<b>Mandatory features</b>	<b>Mandatory details</b>
Storeys and roofline	Heights are to be no more than 3 to 4 storeys and to follow the roofline of adjacent houses
Plot proportions	A minimum gap of 4 metres shall be retained between buildings between detached houses. New development shall respect the existing building lines. Plans must demonstrate how they retain and enhance gardens to ensure the setting of the building is maintained and enhanced, in accordance with Policy BGI, and that gaps between it and adjacent buildings are provided. New houses will be expected to provide generous front and rear gardens. Where it is proposed to replicate traditional form and detail in any new building, massing proportions and details proposed must be fully-worked through based on local historical precedent. Full construction details of the external envelope shall be included with planning submissions to ensure adherence to this principle.
Solid to void ratio	This must be within 10% of the average of that on surrounding buildings.
Façade style	Building façades must indicate the importance of each storey, through composition of building elements and increased height for the most prominent floor, and level of architectural detailing used. The proportions must match adjacent houses of the same building type.
Fenestration	Windows must be spaced at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation. Locations of proposed windows must be spaced based on the architectural period displayed in that building type.
Level of decoration	A medium to high level of decoration or detail is expected on all new building frontages, based on local historical precedent. Large, plain panels of stone, brick or glass proposed in all development will not be acceptable. Where period details are proposed, they must be based on local historical precedent. Extensions or alterations to existing detached houses must demonstrate a respect for the existing level of detailing displayed in the original buildings in the area.
Materials and detailing	It is not suggested that new buildings should replicate traditional forms and details, but that equal detail and interest appropriate to the building type and style must be invested. Materials are to use a typical palette of red and yellow London stock bricks, timber windows painted white and white corncicing, porch surrounds and string courses. Where period details are proposed, they must be based on local historical precedent. Extensions or alterations to existing detached houses must demonstrate a respect for the existing level of detailing displayed in the original buildings in the area. Material palettes for use in new houses, extensions or alterations shall be agreed by the Neighbourhood Forum or Conservation Area Advisory Committee, to ensure quality and appropriateness.
<b>Desirable features</b>	<b>Desirable details</b>
Porches and balconies	Existing recessed porches, that are part of the architectural style, should not be enclosed, including proposals using glass. Balconies should not be added.
Biodiversity support	Sensitive roof renovations and construction of new housing should incorporate spaces for internal bat roosts, including in the eaves for bird and bat roosting, and bat and bird bricks.

**Appendix BD 4.2 Detached houses, including those divided into flats**

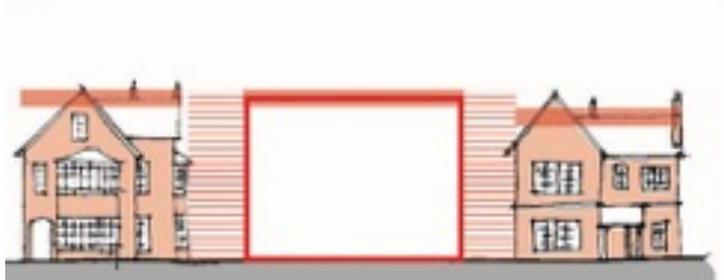
**Storeys and rooflines:** Any new detached house shall respect the existing height and follow the roofline of adjacent houses.



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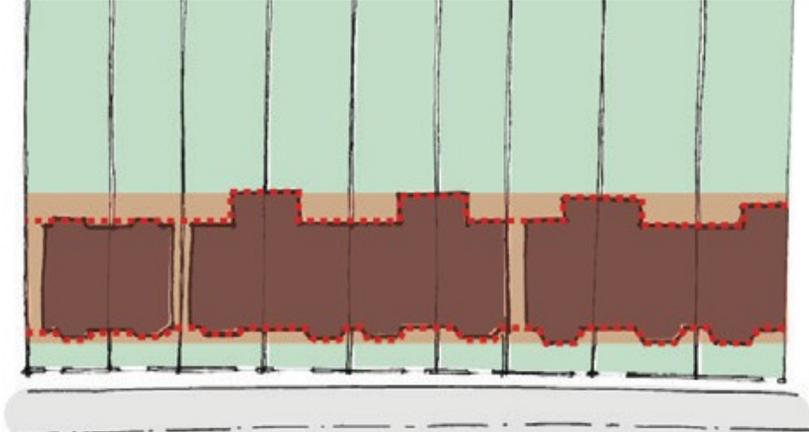


84.



## Appendix BD 4.2 Detached houses, including those divided into flats

**Plot proportions:** A minimum gap of 4 metres shall be retained between detached houses or other adjacent house types.



## BD Policy 4.2 Detached houses, including those divided into flats

**Façade styles:** Proportions must match adjacent houses of the same building type and indicate the importance of each storey through a combination of composition of building elements, increased height for the most prominent floor and the level of architectural detailing used.



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## Appendix BD 4.2 Detached houses, including those divided into flats

**Fenestration:** windows at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation.



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## Appendix BD 4.2 Detached houses, including those divided into flats

**Porches:** The enclosure of existing recessed porches, including proposals using glass, that are part of the architectural style is not acceptable. The photos below show an original porch and balconette detail. Original porches must be retained and balconies may not be added, where not an original architectural element.



97.



98.

**Appendix BD 4.2 Detached houses, including those divided into flats**

**Level of decoration:** A medium to high levels is expected, displaying elements that equate to those on existing traditional buildings which provide interest, scale and texture to form and elevations. Examples of period details are shown in the photos below.



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**Appendix BD 4.2 Detached houses, including those divided into flats**

**Materials and detailing:** to match the existing building or, for new houses, to respect for the existing materials palette used in the area. The photos below show some of the materials and detailing used on detached houses in the area.

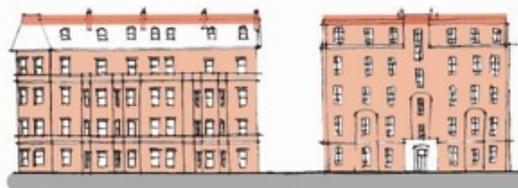


### Appendix BD 4.3 Office blocks, blocks of flats and mansion blocks

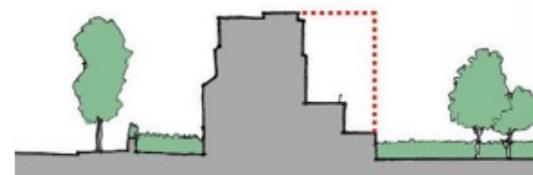
<b>Mandatory features</b>	<b>Mandatory details</b>
Storeys and roofline	The number of storeys must not exceed that of adjacent buildings.
Plot proportions	A minimum gap wide shall be retained between buildings . Proposals which close the gap between adjacent buildings will not be acceptable. Block of flats shall be located to respect the existing building line and accommodate a generous front garden, to provide a green setting to the building and enhance the public realm. Or, they shall be set to the back of the pavement to create an active frontage. Plots are to provide generous, well-maintained public or communal gardens.
Solid to void ratio	This must be within 10% of the average of that on surrounding buildings.
Façade style	Building façades must indicate the importance of each storey, through composition of building elements and increased height for the most prominent floor, and level of architectural detailing used.
Level of decoration	Architectural detailing shall display elements that equate to those on existing traditional buildings and which provide interest, scale and texture to form and elevations. These include a variable roofline, a string course for each storey, eaves cornice, door surrounds, balconies and parapet wall at eaves. A medium to high level of decoration is expected for frontages, with the level of detail based on the detail used on adjacent existing buildings. Period details may be appropriate, but based on local historical precedent or vernacular in the area. Large, plain panels of stone, brick or glass proposed in all development will not be acceptable. Parapet walls or ornamental railings provided on balconies shall display a level of decoration used locally.
Fenestration	Windows must be spaced at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation. Locations of proposed windows must be spaced based on the architectural period displayed in that building.
Materials and detailing	Materials are to use a typical palette of red and yellow London stock bricks, timber windows painted white and white corncing, porch surrounds and string courses.
<b>Desirable features</b>	<b>Desirable details</b>
Balconies	Balconies are likely to be acceptable in new mansion blocks and blocks of flats, provided that they are in proportion with the building frontage and provide meaningful areas for use
Biodiversity support	Sensitive roof renovations and construction of new housing should incorporate spaces for internal bat roosts, including in the eaves for bird and bat roosting, and bat and bird bricks.

### Appendix BD 4.3 Office blocks, blocks of flats and mansion blocks

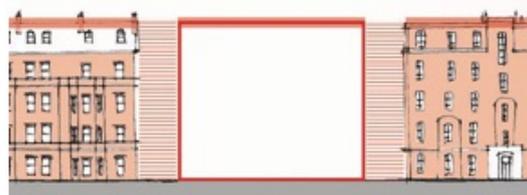
**Storeys and rooflines:** The number of storeys must not exceed that of adjacent buildings.



123.



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### Appendix BD 4.3 Office blocks, blocks of flats and mansion blocks

**Façade styles:** Proportions must indicate the importance of each storey through a combination of composition of building elements, increased height for the most prominent floor and the level of architectural detailing used. The photo below illustrates the importance of the ground floor through increased height.



128.

### Appendix BD 4.3 Office blocks, blocks of flats and mansion blocks

**Fenestration:** Windows at intervals that provide vertical pattern that reflects local architectural detailing in each building elevation, as in the photos below.



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131.

### Appendix BD 4.3 Office blocks, blocks of flats and mansion blocks

**Balconies:** Balconies are likely to be acceptable in new mansion blocks and blocks of flats provided that they are in proportion with the building frontage and provide meaningful areas for use, allowing for opening of full-height doors for the greater enjoyment of the room behind. The photo below to the right shows decorative balconettes, whilst they add decoration to the façade, they do not provide outside space for relaxation and contemplation.



132.



133.

### Appendix BD 4.3 Office blocks, blocks of flats and mansion blocks

**Level of decoration:** A medium to high levels is expected for frontages, displaying elements that equate to those on adjacent traditional buildings which provide interest, scale and texture to form and elevations. Examples of period details are shown in the photos below.



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### Appendix BD 4.3 Blocks of flats and mansion blocks

**Materials and detailing:** to demonstrate a respect for the existing materials palette used in original buildings in the area. The photos below show some of the materials and detailing used in mansion blocks and blocks of flats across the area.



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143.

**Example of Local Conformity: New Block of Flats at 38 Heath Drive from Heath Drive**



**Example of Local Conformity: New Block of Flats at 38 Heath Drive from Finchley Rd.**



**Example of Local Conformity: Design for Retail, Office and Residential Block**



With thanks to Francis Terry

<b>Appendix BD 4.4 Finchley Road (eastern side)</b>	
<b>Mandatory features</b>	<b>Mandatory details</b>
Roofline	<p>In any new development of extension, existing rooflines along the eastern side of Finchley Road are to be respected, in order to maintain a consistent roofline along the street.</p> <p>Any infill development between existing buildings of different heights should create a staggered roofline to integrate the new development and create rhythm along the street.</p>
Storeys	<p>An additional storey may be acceptable on buildings on Finchley Road, where this is set well back from the main façade and therefore not visually dominant in views from the street, and where it does not lead to loss of light and overshadowing or rear gardens of adjacent properties to side and rear.</p> <p>An increase in building height, where the proposed building would exceed the height of adjacent buildings, is unlikely to be acceptable. Proposed development must not exceed six storeys.</p>
Building façades	<p>Period details, such as pilaster and cornices, shall be retained and, where these features have been covered or removed, they shall be reinstated.</p> <p>Proposals that affect the shop front must also consider the rest of the building, and frontages shall be cleaned and repointed to maintain architectural quality.</p> <p>The proportions used in Finchley Road frontages, with shops at ground floor, are demonstrated in Appendix BD 4.4. These proportions are to be retained,</p>
Fenestration	<p>The size, location and number of windows in building frontages shall be maintained. Appendix BD 4.4 illustrates the pattern and balance of windows in the façades.</p> <p>Glazing in shop fronts is divided by mullions and transoms in a pattern, which shall reflect the proportions of the shop and the rest of the building. This practice is to be followed, maintaining the line of the existing fascias.</p> <p>A transom should divide the window at the same level as the line between the door and door light. Mullions should line up above and below the transom and shall reflect vertical alignment of windows in the upper floors.</p>
Shop fronts, signs and advertising	<p>The design of each shop front shall consider the effect on the rest of the street. The proposed proportions, materials and details shall reinstate or maintain the original design between each building. Shop fronts shall respect the original proportions, materials and details of the existing building as a whole. Original design details shall be retained and restored where necessary to maintain the quality of architecture.</p> <p>New shopfronts in existing buildings must respect the proportions, scale, vertical or horizontal emphasis, materials, and type and amount of decoration on the original building.</p> <p>The removal of all or part of a shopfront from a Listed Building, or building in a Conservation Area will not normally be permitted if it is contemporary with the original building, appropriate to the building, or is of architectural or historic interest in its own right.</p> <p>Shop signage along Finchley Road shall be unified through the use of well-proportioned and well-designed fascia. Signage shall be contained within fascia panels which shall be consistent in size along the street and they shall be situated at the same height on each building, located below the original cornice. Signage shall not be placed on the upper storeys of the building fronts. Image 150 of Appendix HD 2 represents Finchley Road, following implementation of a shop front strategy.</p> <p>Lettering shall be hand painted or cut-out letters on a 150 matt fascia panel and shall be part of the shopfront design, respecting the existing architectural details. The style and font used for lettering may be individual; however this must not conflict with other building elements.</p> <p>Signs, lighting and security measures must be integrated within the design of the shopfront: therefore a competent designer, high quality materials and craftsmen must be used.</p>
<b>Desirable features</b>	<b>Desirable details</b>
Materials and use of colour in shop fronts	<p>Materials shall be selected to complement the character of the building, keeping the number and type of materials to a minimum. Selected materials must be durable, high quality and easy to maintain.</p> <p>Traditional materials, such as timber and glass, must be used in shop fronts. Proposed palettes of materials for walls, windows, doors and signs shall be agreed by the Neighbourhood Forum or Conservation Area Advisory Committee to ensure their quality and appropriateness.</p> <p>Shop fronts and signage should use matt finish materials in a muted colour palette. Shiny reflective materials, projecting light boxes and bright lurid colours shall be avoided.</p> <p>Materials shall be selected to complement the character of the building, keeping the number and type of materials to a minimum. Selected materials must be durable, high quality and easy to maintain.</p>
Relationship to the street	<p>Redevelopment of existing commercial properties should retain the existing set back from the road, to maintain a consistent building line and pavement widths. The active space, adjacent shop fronts and the relationship to the pavement are illustrated in Appendix BD 4.4.</p>
Biodiversity support	<p>Sensitive roof renovations and construction of new housing should incorporate spaces for internal bat roosts, including in the eaves for bird and bat roosting, and bat and bird bricks.</p>

#### Appendix BD 4.4 Finchley Road (eastern side)

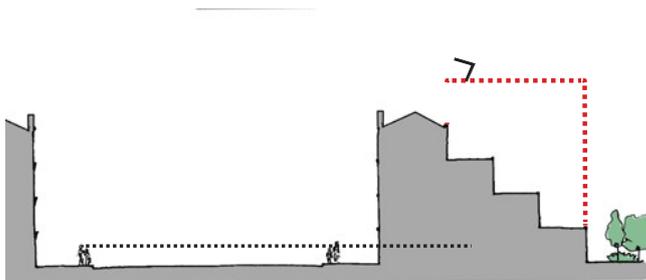
**Roofline:** In any new development or extension existing rooflines along the eastern side of Finchley Road should be respected to maintain a consistent roof line along the street, as in the photo below.



Any infill development between existing buildings of different heights should create a staggered roofline to integrate the new development and create rhythm along the street (see photo below).

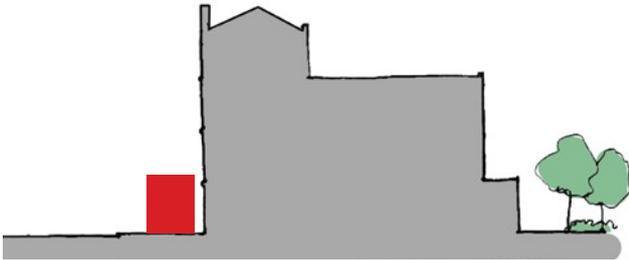


**Storeys:** Building heights must not be increased to above the height of adjacent buildings and heights must not exceed six storeys.



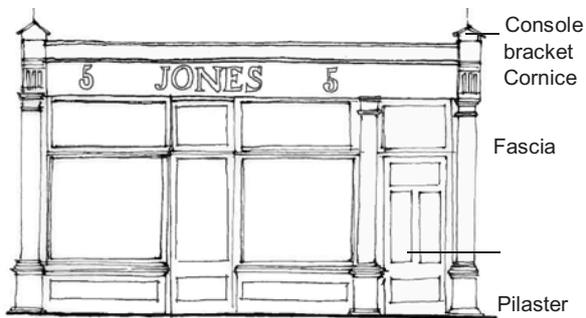
#### Appendix BD 4.4 Finchley Road (eastern side)

**Relationship to street:** Redevelopment of existing commercial properties must retain the existing set back from the road to maintain a consistent building line and pavement widths. The drawing below illustrates the active space adjacent shop fronts and the relationship to the pavement.



#### Appendix BD 4.4 Finchley Road (eastern side)

**Building facades:** Period details are to be retained and, where covered or removed, reinstated.

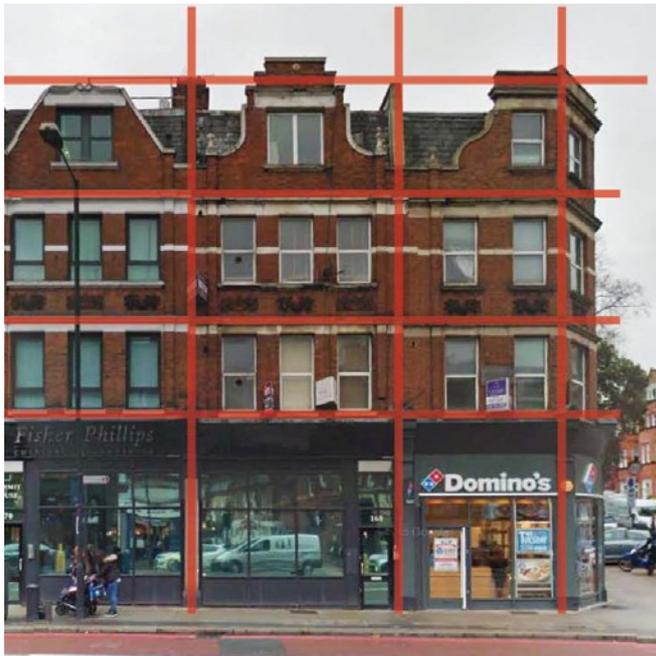


The proportions used in the Finchley Road façades with shops of the ground floor, are to be retained.

#### Appendix BD 4.4 Finchley Road (eastern side)

**Fenestration:** The size, location, scale and number of windows in building frontages shall be maintained. The photo below illustrates the pattern and balance of windows in the façades.

A transom should divide the window at the same level as the line between the door and door light. Mullions should line up above and below the transom and shall reflect vertical alignment of windows in the upper floors.



#### Appendix BD 4.4 Finchley Road (eastern side)

**Shop fronts, signs and advertising:** The proposed proportions, materials and details shall reinstate or maintain the original design between each building. Shop fronts shall respect the original proportions, materials and details of the existing building as a whole. Original design details shall be retained and restored, where necessary, to maintain the quality of architecture

New shopfronts in existing buildings must respect the proportions, scale, vertical or horizontal emphasis, materials, and type and amount of decoration on the original building.

Lettering shall be hand painted or cut-out letters on a 150. matt fascia panel and shall be part of the shopfront design, respecting the existing architectural details.



## Appendix BD 4.4 Finchley Road (eastern side)

### Examples of shop front designs retaining scale, character and period details

Bethnal Green Road, London: Asymmetrical shop front adhering to the existing architectural pilaster, console brackets, cornice, fascia and plinth detailing. The shop front fills the entire width of the elevation. This also shows regular lettering using letters painted to matt fascia panel.



151.

Kensington Park Road, London: Symmetrical shop front with existing architectural details retained. This demonstrates an appropriate scale and materials used for the lettering, and a simple palette of materials



152.

Govan, High Street, Glasgow: Modern shop front designs along one terrace. A set palette of colours and lettering has been used within the fascia of each shop front. Lettering is in varying typefaces to allow individual corporate styles to be used.



153.

Kensington Gardens, Brighton: A traditional shop front with period details such as the pilaster and console bracket retained. A new fascia has been fixed to the building which matches the surrounding single muted paint colour applied to the shop front.



154.

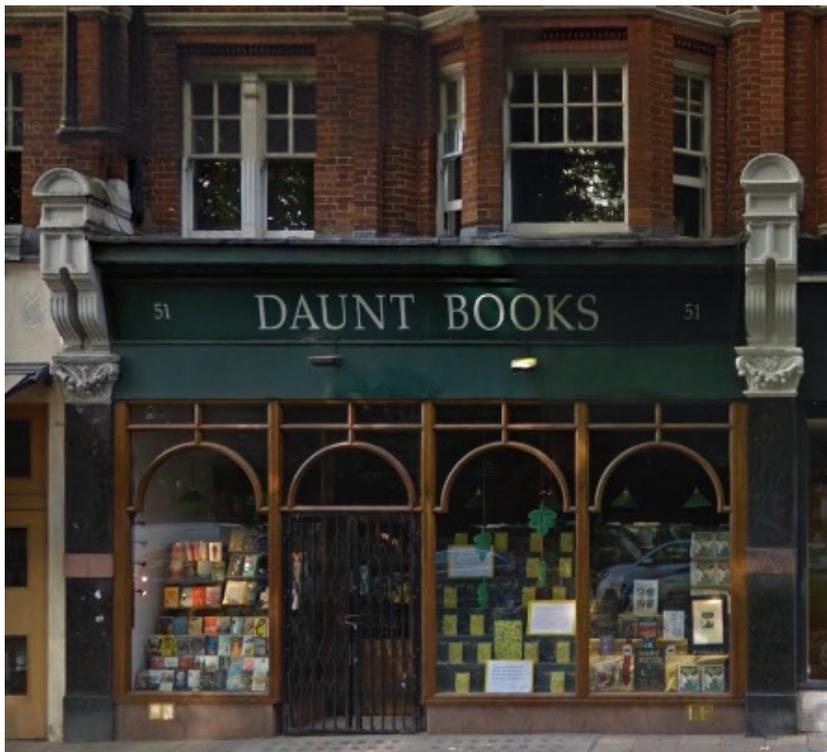
**Local examples: Finchley Road**



**Heath Street**



South End Road



West End Lane



Marylebone Road



Holloway Road



**West End Lane: Design for Retail, Office and Residential Block**

